

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS

FALL PROTECTION TO NCC 2016-VOLUME ONE APPENDICES. QLD PART G.101. CERTAIN ATTACHMENTS. QLD G101.1 PREVENTION OF FALLS FROM BUILDINGS OR STRUCTURES. WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR STRUCTURE WHILE CLEANING OR MAINTENANCE WORK IS BEING CARRIED OUT- (A) A WORK SYSTEM DESIGNED TO PREVENT SUCH FALLS MUST BE USED; & (B) WHERE SAFETY ANCHORAGE POINTS ARE USED THEY MUST BE POSITIONED ON THE BUILDING OR STRUCTURE SO THAT A LIFELINE OR SAFETY HARNESS MAY BE ATTACHED BEFORE PROCEEDING TO A POINT WHERE IT IS POSSIBLE TO FALL; & (C) ANCHORAGE POINTS FOR THE ATTACHMENT OF SAFETY HARNESS MUST COMPLY WITH AS 2625.

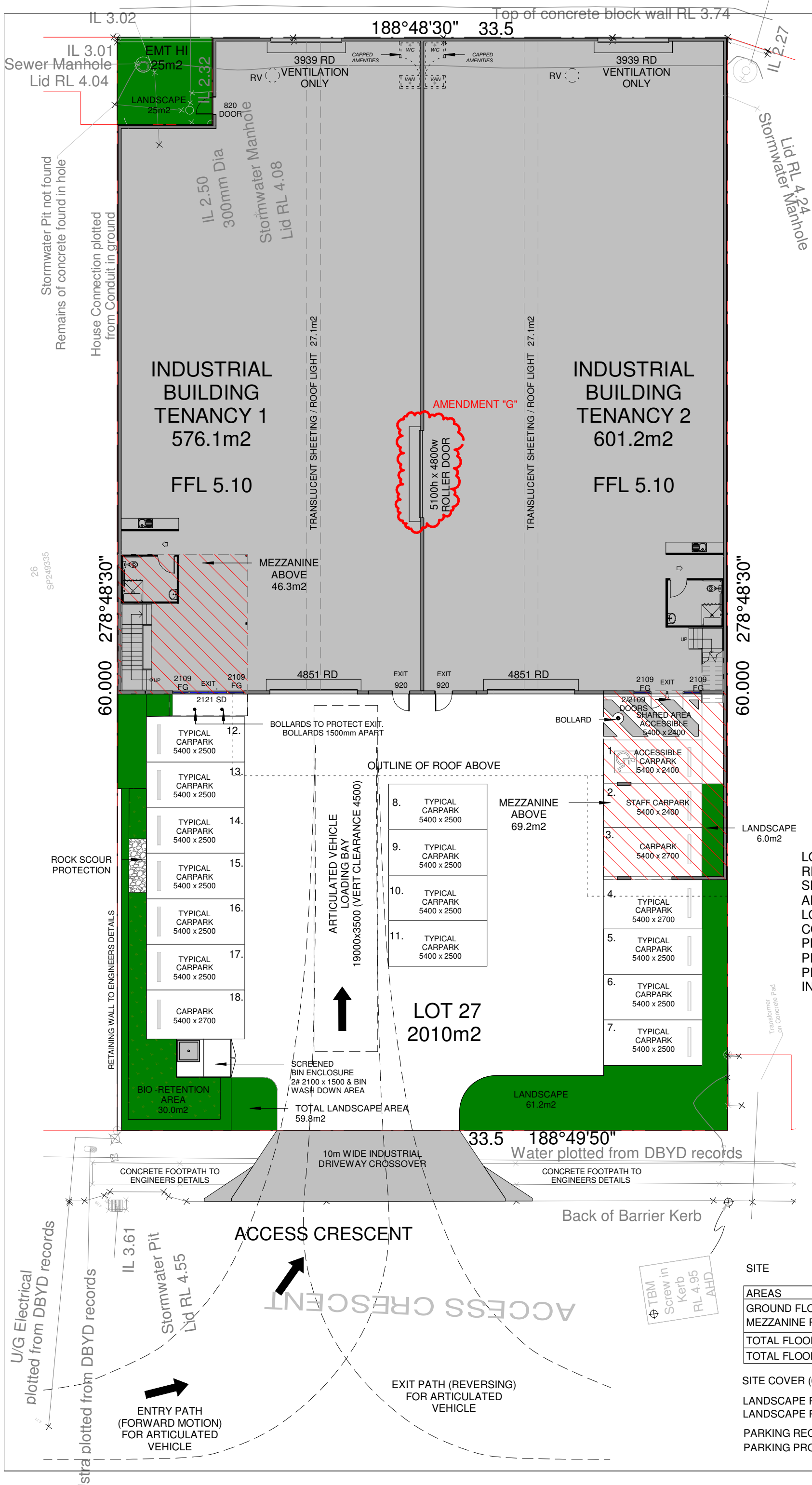
ROOF PLAN
 SCALE 1:200 @ A3
 LOT : 27
 REGISTERED PLAN NUMBER : SP249335
 AREA : 2010 sqm
 LOCAL AUTHORITY : SUNSHINE COAST REGIONAL COUNCIL
 PLANNING AREA : NO 12. SOUTH PEREGIAN
 PRECINCT CLASS: CORE INDUSTRY

LEGEND
 TRANSLUCENT SHEETING / ROOF LIGHT
 TRIMDEK PROFILE TRANSLUCENT SHEETING @ 2.0 DEGREES PITCH
 RV ROTARY ROOF VENT



ISSUE	DATE	SUBJECT	INITIAL	AUTH
AMENDMENTS				
6 LORRAINE AVE, MARCOOLA QLD. 4564				
PHONE:(07)54488 500 Mobile: 0418 715 702				
EMAIL: buildgreen@bigpond.com				
QBSA LICENCE No. 65942				

Drawn by SB	Checked by DJ
Client C. MORLEY	
LOT 27 ACCESS CRESCENT	
COOLUM INDUSTRIAL ESTATE	
Drawing Description	
ROOF PLAN	
Scale As indicated	Date 07.11.16
Project No.2016-46	Sheet No. 02 OF 15
WORKING DWGS	Issue H



BUILDING SUNCOAST GREEN

ISSUE	DATE	SUBJECT	INITIAL	AUTH
H	21.07.17	DIMENSION DIVIDING WALL	SB	DJ
G	30.06.17	MOVE ROLLER DOOR	SB	DJ
F	28.06.17	MOVE ROLLER DOOR	SB	DJ
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C	22.06.17	SPLIT BUILDING INTO 2	SB	DJ
B	08.03.17	CONCEPT DWGS	SB	DJ
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	07.11.16	SKETCH ISSUED	SB	DJ

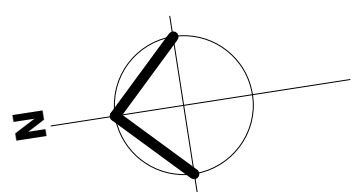
AMENDMENTS
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QBSA LICENCE No. 65942

Drawn by **SB** Checked by **DJ**
 Client **C. MORLEY**
LOT 27 ACCESS CRESCENT
COOLUM INDUSTRIAL ESTATE

Drawing Description
SITE / FLOOR PLAN
 Scale **As indicated** Date **07.11.16**
 Project No. **2016-46** Sheet No. **03 OF 15**
WORKING DWGS Issue **H**

SITE / FLOOR PLAN

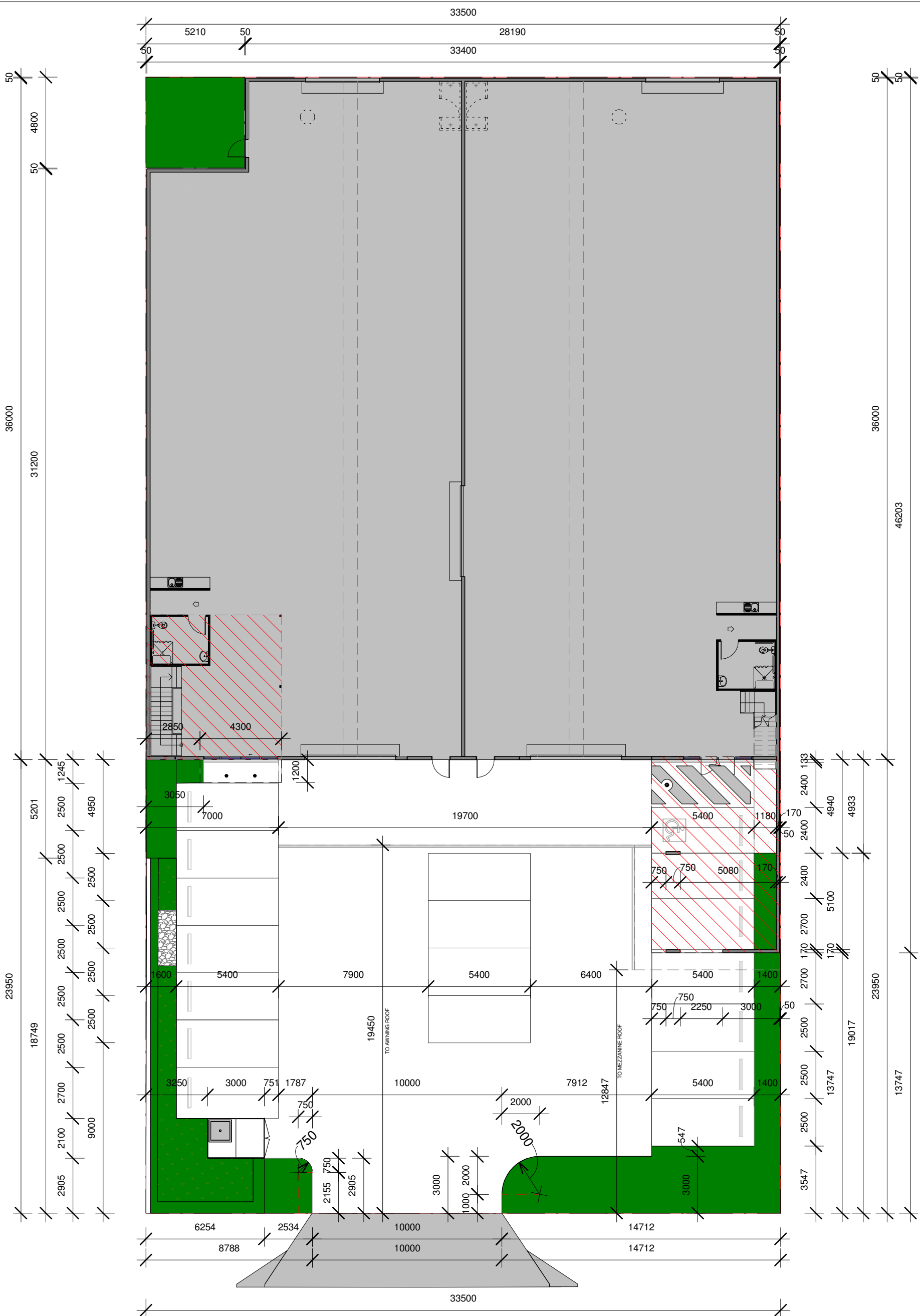
SCALE 1:200 @ A3
BUILDING CLASS 7/8
TYPE C CONSTRUCTION



LOT : 27
 REGISTERED PLAN NUMBER :
 SP249335
 AREA : 2010 sqm
 LOCAL AUTHORITY : SUNSHINE
 COAST REGIONAL COUNCIL
 PLANNING AREA : NO 12. SOUTH
 PEREGIAN
 PRECINCT CLASS: CORE
 INDUSTRY

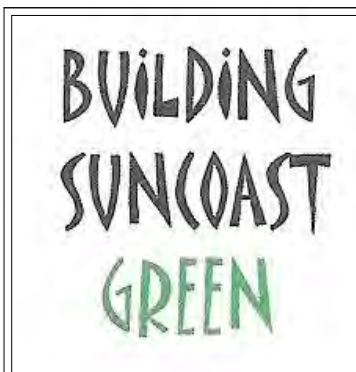
AREAS	TENANCY 1	TENANCY 2
GROUND FLOOR AREA	576.1 sqm	601.2 sqm
MEZZANINE FLOOR AREA	46.3 sqm	69.2 sqm
TOTAL FLOOR AREA	622.4 sqm	670.4 sqm
TOTAL FLOOR AREA	1292.8 sqm	

SITE COVER (62%)	1246.2 sqm
LANDSCAPE REQUIRED (7.5%)	150.7 sqm
LANDSCAPE PROVIDED (7.5%)	152.0 sqm
PARKING REQUIRED	18 parks
PARKING PROVIDED	18 parks



SITE SETOUT PLAN

SCALE 1:200 @ A3



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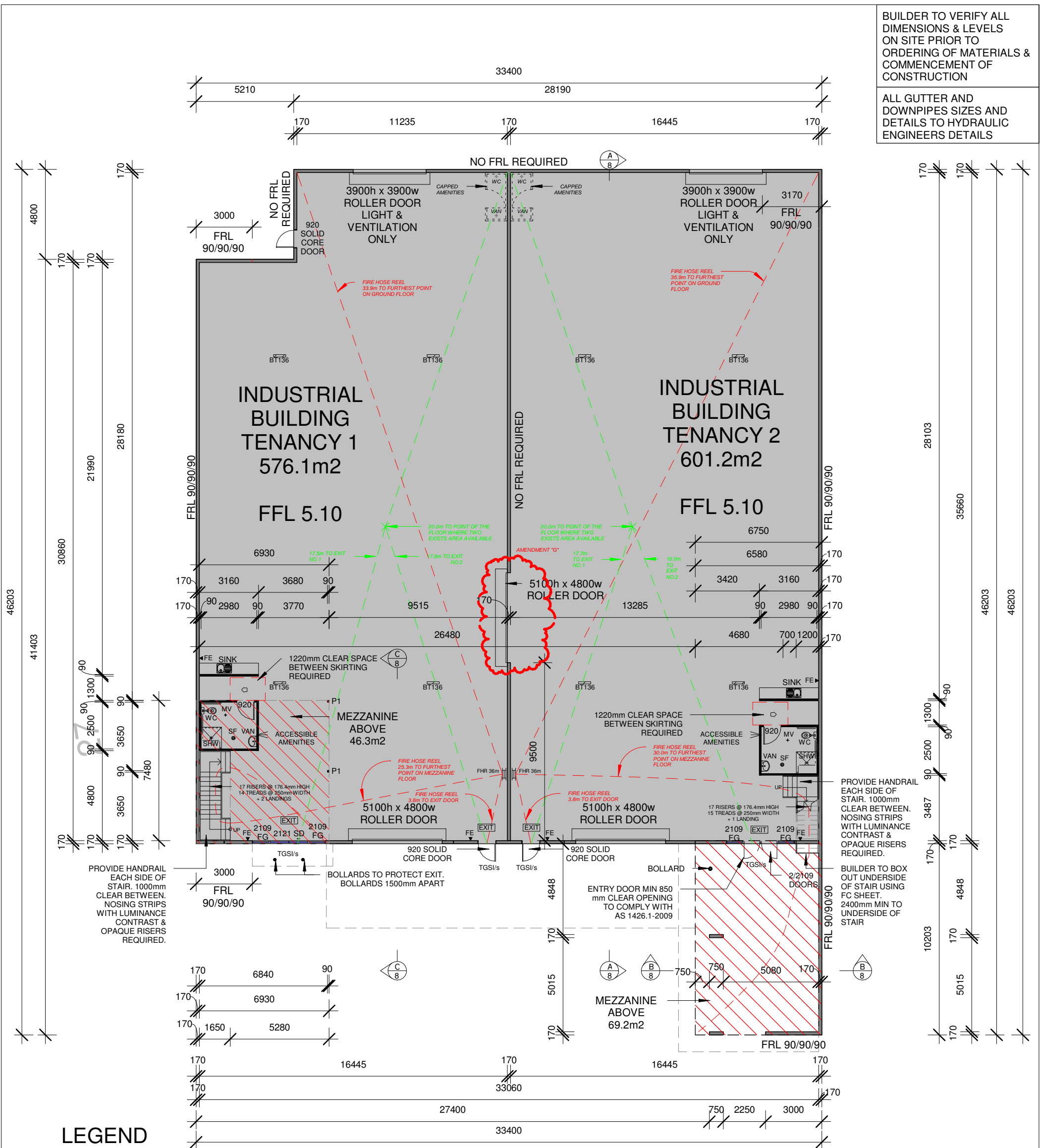
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Client C. MORLEY LOT 27 ACCESS CRESCENT COOLUM INDUSTRIAL ESTATE	
Drawing Description SITE SETOUT PLAN	
Scale As indicated	Date 07.11.16
Project No.2016-46	Sheet No. 04 OF 15
WORKING DWGS	Issue H

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS

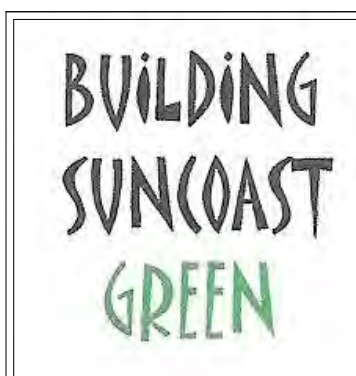


LEGEND

- 170mm CONCRETE TILT UP WALL TO ENGINEERS DETAILS
- 90mm INTERNAL STUD WALLS TO ENGINEERS DETAILS
- 90mm SHS POSTS TO ENGINEERS DETAILS.
- EMERGENCY EXITS (TENANCY OVER 300m2):
10 WATT ILLUMINATED SINGLE SIDED EXIT SIGN MODEL E1112.
CLASSIFICATION AS/NZS 2293.1 1998.
LIGHTING TO AS/NZS 1680.0
- STANLITE SF10 NON-MAINTAINED (10W HALOGEN FIXED FLUSH WITH CEILING) TO AS/NZS 2293.1.
- STANLITE BT 136NPR SINGLE 36W NON-MAINTAINED OR ALTERNATIVE BRAND TO SUIT CLASSIFICATION AS 2293:PART 1. MOUNTED AT 6m MAX ABOVE FINISHED FLOOR. MECHANICALLY VENTILATED TO AS 1668.2 1991, MIN 25L/S EXHAUST FLOW RATE. CEILING 2400mm HIGH.
- EXTINGUISHER TYPE: 3A:40B:(E) ENSURE FIRE EXTINGUISHERS ARE WITHIN 4m OF EXIT DOOR. EXTINGUISHER LOCATION SIGN ABOVE IN ACCORDANCE WITH AS 2444-1995
- INSTANTANEOUS HWS IN VERMIN PROOF CABINET UNDER SINK (TYP.)
- TACTILE GROUND SURFACE INDICATORS
- FIRE HOSE REEL TO ENGINEERS DETAILS

GROUND FLOOR PLAN

SCALE 1:200 @ A3



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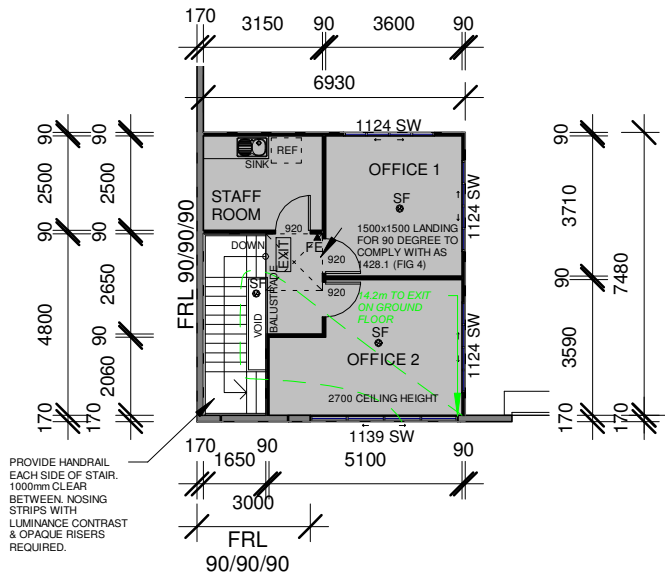
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Client C. MORLEY LOT 27 ACCESS CRESCENT COOLUM INDUSTRIAL ESTATE	
Drawing Description GROUND FLOOR PLANS	
Scale As indicated	Date 07.11.16
Project No. 2016-46	Sheet No. 05 OF 15
WORKING DWGS	Issue H

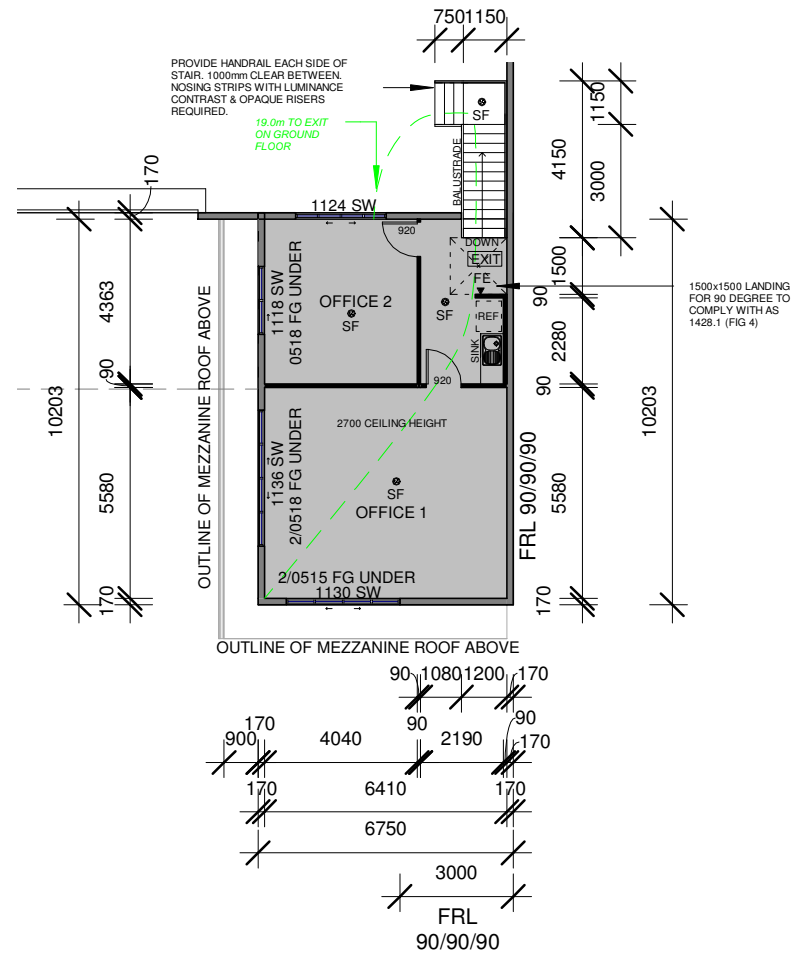
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MEZZ FLOOR PLAN (TENANCY 1)

SCALE 1:200 @ A3



MEZZ FLOOR PLAN (TENANCY 2)

SCALE 1:200 @ A3

FLOOR PLAN NOTES

ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA REQUIREMENTS & RELEVANT AUSTRALIAN STANDARDS. CONTRACTOR TO CONFIRM ALL DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK INCLUDING BOUNDARY LINES & PEGS.

CONTRACTOR ALSO TO CONFIRM PRESENCE OF ANY EXISTING SERVICES BEFORE COMMENCING WORKS.

DIMENSIONS TAKE PREFERENCE OVER SCALE. DO NOT SCALE OFF DRAWING.

REFER TO CONSULTING ENGINEERS DRAWINGS FOR ALL CIVIL, STRUCTURAL DETAILS & HYDRAULIC ENGINEERS DRAWINGS FOR ALL HYDRAULIC DETAILS.

SHOULD SITE CONDITIONS DIFFER FROM THOSE INDICATED SEEK INSTRUCTIONS FROM DESIGNER.

REFER FLOOR PLAN FOR POSITIONS OF PORTABLE FIRE EXTINGUISHERS & FIXED EMERGENCY LIGHTING

PORTABLE FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH NCC E1.6 2016. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED DEPENDING ON TENANCY LAYOUT & ASSOCIATED BUSINESS USES.

MECHANICAL VENTILATION TO AS. 1668.2 & AS/NZS 3666.1 AS INDICATED. MIN 25 l/s EXHAUST FLOW RATE TO ALL WC'S.

PHYSICAL TERMITE BARRIER SYSTEM TO BE USED IN ACCORDANCE WITH AS. 3660.1. ALL TIMBER TREATED H2/H3 AGAINST TERMITES.

LIGHTING TO AS/NZS 1680.0 & NCC 2016 J6

ALL EXIT DOORS TO COMPLY WITH NCC 2016 CLAUSES D2.10, D2.19 & D2.21 DOOR HARDWARE TO ALL EXIT DOORS TO COMPLY WITH NCC 2016 CLAUSE D2.20

PROVIDE ROOF SAFETY MESH TO AS/NZS 4389 (1996)

TIMBER/STEEL STUD PARTITIONING TO TOILETS. CEILING HEIGHT 2700mm MIN. WALLS AND CEILING LINED WITH WATER PROOF PLASTERBOARD.

FIX PLASTERBOARD CEILING OVER AMENITY AREAS (TYP) WATERPROOF WET AREAS TO AS 3740. WATERPROOFING TO WET AREAS TO COMPLY WITH NCC 2016 CLAUSE F1.7 ROOF INSULATION R2.5 "ANTICON" FOIL BACKED FIBRE GLASS INSULATION

PROVIDE NON-COMBUSTIBLE MINERAL FIBRE INSULATION UNDERNEATH ROOF SHEETING TO SEAL ALL FIRE WALLS. (CSR BRADFORD FIRE SEAL OR EQUIVALENT)

UNISEX ACCESSIBLE FACILITIES TO AS 1428.1, 2009

FIRE HYDRANTS INSTALLED TO ENGINEERS DETAIL. REFER HYDRAULICS ENGINEER DRAWINGS FOR POSITION OF FIRE HYDRANTS

STAIRS, HANDRAILS & BALUSTRADES

ALL STAIRS, HANDRAILS & BALUSTRADES TO COMPLY WITH NCC 2016 PART D2.9, D2.13, D2.14, D2.16 & D2.17 AND AS1428.1 & AS1428.4.

BALUSTRADE POSITIONED MIN 865mm ABOVE NOSING OF TREADS, 1m MIN. ABOVE BALCONY, LANDING OR THE LIKE.

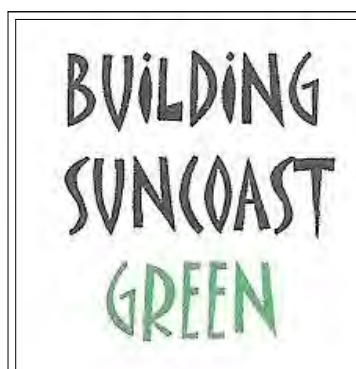
BALUSTRADE REQUIRED TO BOTH SIDES OF STAIR WELLS. OPENING IN BALUSTRADES TO BE CONSTRUCTED SO A 125mm SPHERE IS NOT PERMITTED TO PASS THROUGH & FOR A STAIR THE SPACE TESTED IS ABOVE THE NOSING.

GLAZING INDICATORS

GLAZING INDICATORS TO ENTRY DOORS (75mm WIDE SOLID) TO NCC 2016 D3.12 & AS 1428.1-C16.6 TO DOOR SIDE LIGHTS.

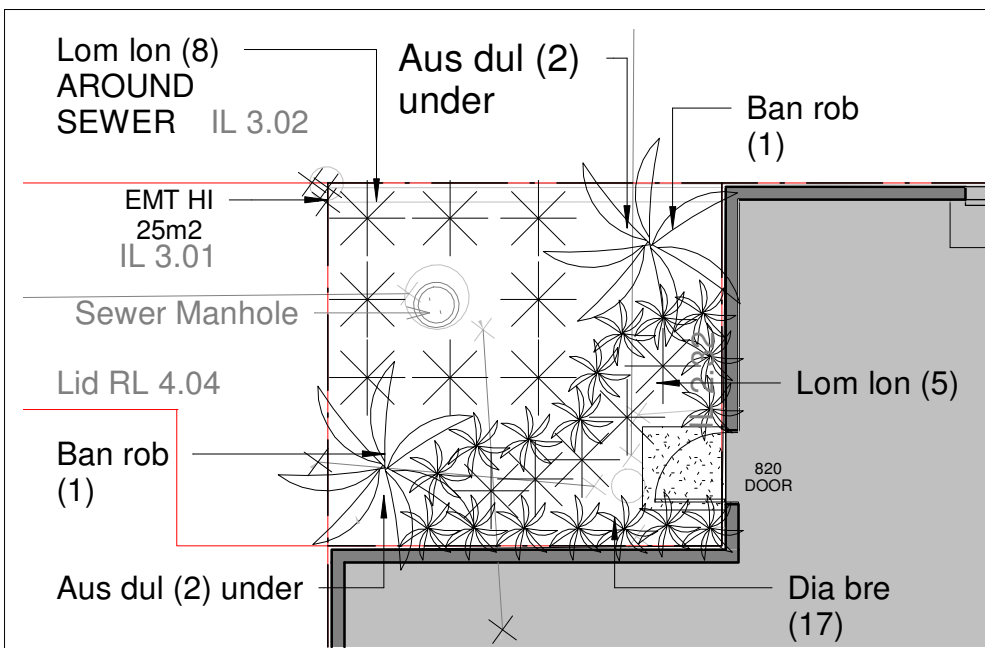
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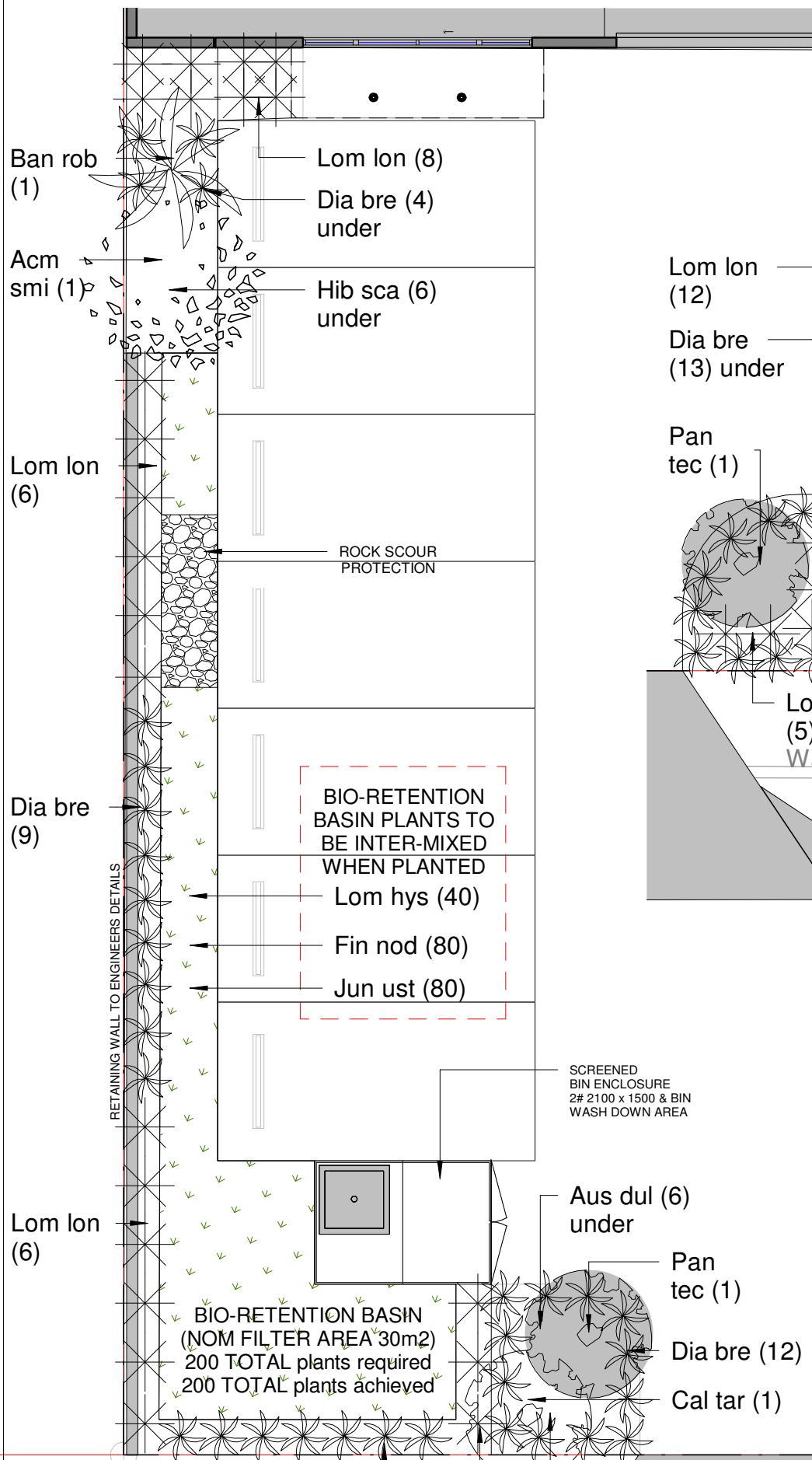
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AMENDMENTS 6 LORRAINE AVE, MARCOOLA QLD. 4564 PHONE:(07)54488 500 Mobile: 0418 715 702 EMAIL: buildgreen@bigpond.com QBSA LICENCE No. 65942		Drawn by SB Checked by DJ Client C. MORLEY LOT 27 ACCESS CRESCENT COOLUM INDUSTRIAL ESTATE Drawing Description MEZZANINE FLOOR PLAN Scale As indicated Date 07.11.16 Project No. 2016-46 Sheet No. 06 OF 15 WORKING DWGS Issue H
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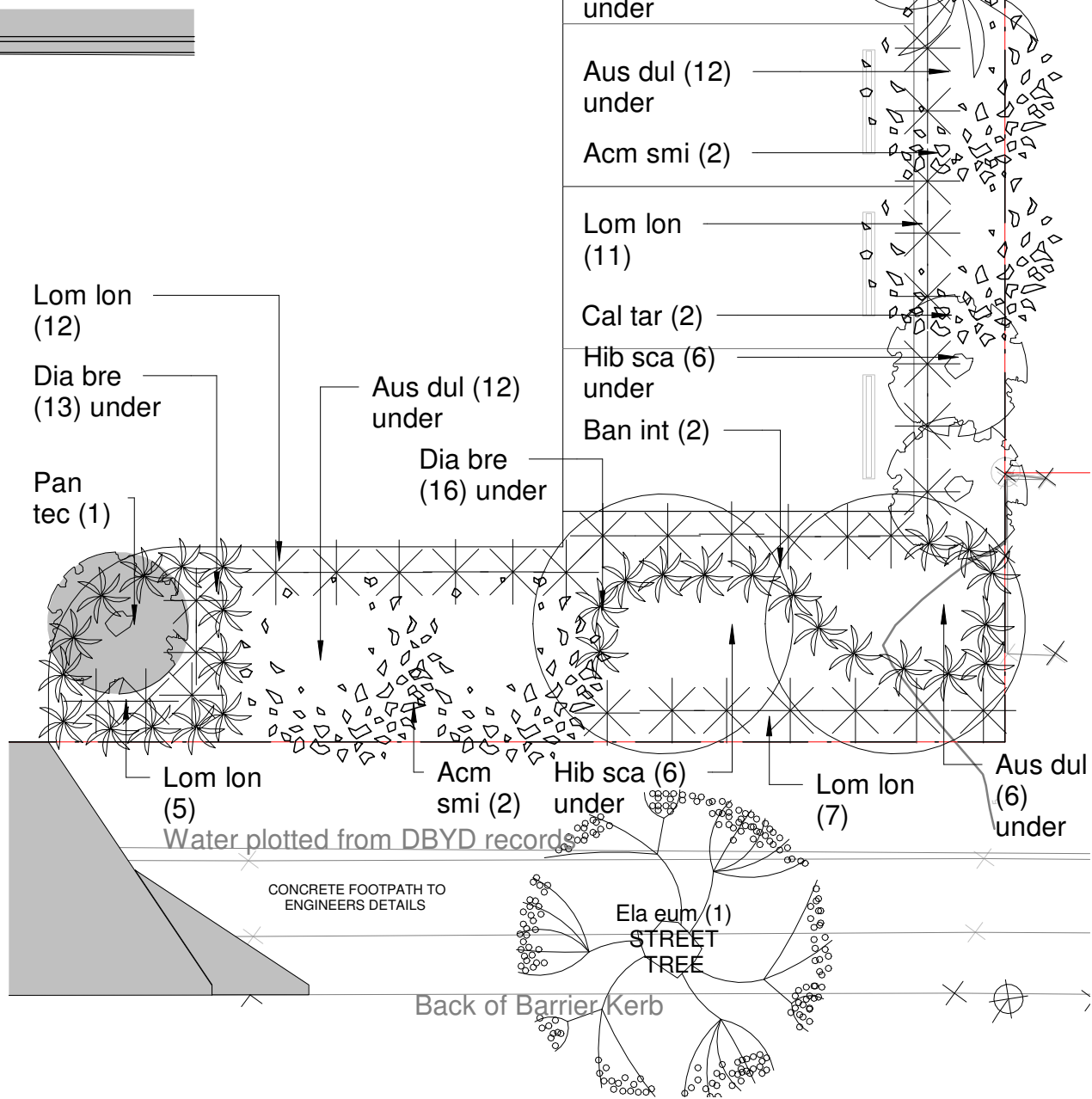
LANDSCAPE PLAN PART 1

SCALE 1:100 @ A3



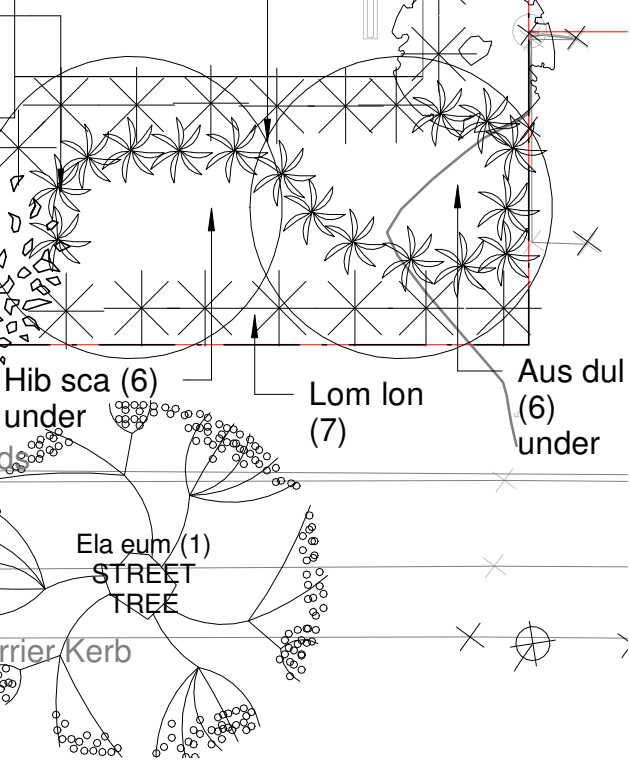
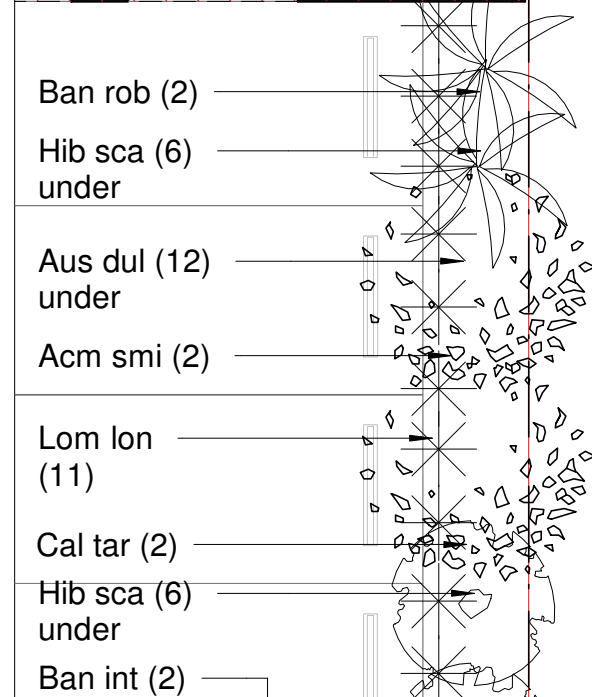
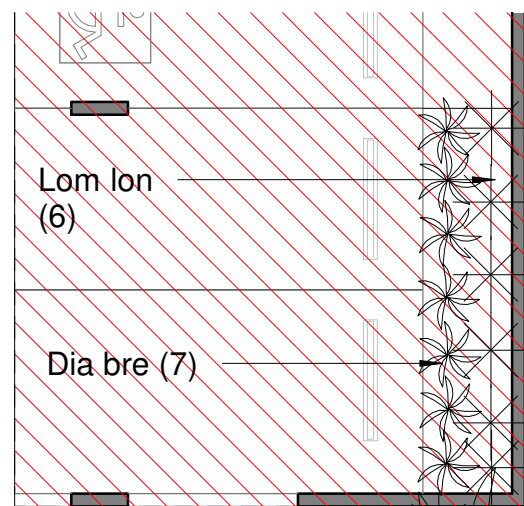
LANDSCAPE PLAN PART 2

SCALE 1:100 @ A3



LANDSCAPE PLAN PART 3

SCALE 1:100 @ A3



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WORKING DWGS	Issue H