



PROPOSED INDUSTRIAL BUILDING

CLIENT: CRAIG MORLEY

ADDRESS: LOT 27 ACCESS CRESCENT, COOLUM, QLD
BUILDING CLASSIFICATION 7/8 TYPE C CONSTRUCTION



CONSTRUCTION GENERALLY

THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING STABILITY OF THE STRUCTURE UNTIL COMPLETION OF CONSTRUCTION AND SHALL ENSURE THAT NO PART OF THE STRUCTURE IS OVER STRESSED BY CONSTRUCTION LOADING.

STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS.

ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES OF PRACTICE EXCEPT WHERE VERIFIED BY THE SPECIFICATIONS AND DRAWINGS.

- AS 1720 - TIMBER STRUCTURES
- AS 3600 - CONCRETE STRUCTURES
- AS 4100 - STEEL STRUCTURES
- NATIONAL CONSTRUCTION CODE OF AUSTRALIA

REMOVE ALL VEGETATION AND TOPSOIL WITHIN THE AREA THAT THE BUILDING IS TO OCCUPY. CUT OR FILL TO LEVELS SHOWN IN THE DRAWINGS. MATERIAL TO BE USED AS FILL SHOULD BE APPROVED BY THE ENGINEER AND COMPACTED AS SPECIFIED.

PROVIDE EROSION AND SEDIMENT CONTROL STRUCTURES AND MAINTAIN IN A FUNCTIONAL CONDITION TO LOCAL AUTHORITY REQUIREMENTS.

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO THE WEATHER MUST BE FLASHED USING MATERIALS THAT COMPLY WITH AS 2904.

RETICULATE STORMWATER TO STREET CHANNEL, APPROVED EASEMENT OR OTHERWISE AS DIRECTED BY THE LOCAL AUTHORITY & DESIGNED BY THE HYDRAULIC ENGINEER.

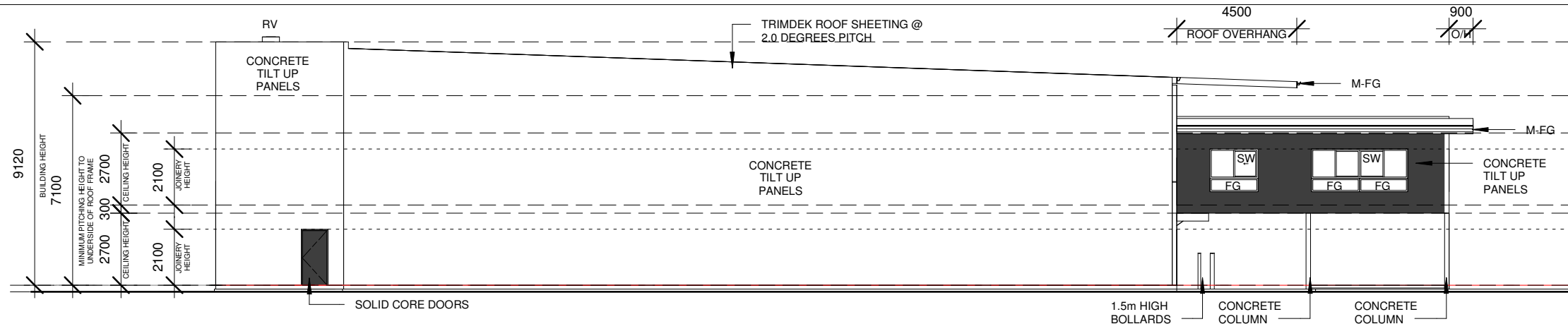
SEWERAGE DISPOSAL SHALL BE AS DESIGNED BY THE HYDRAULIC ENGINEER.



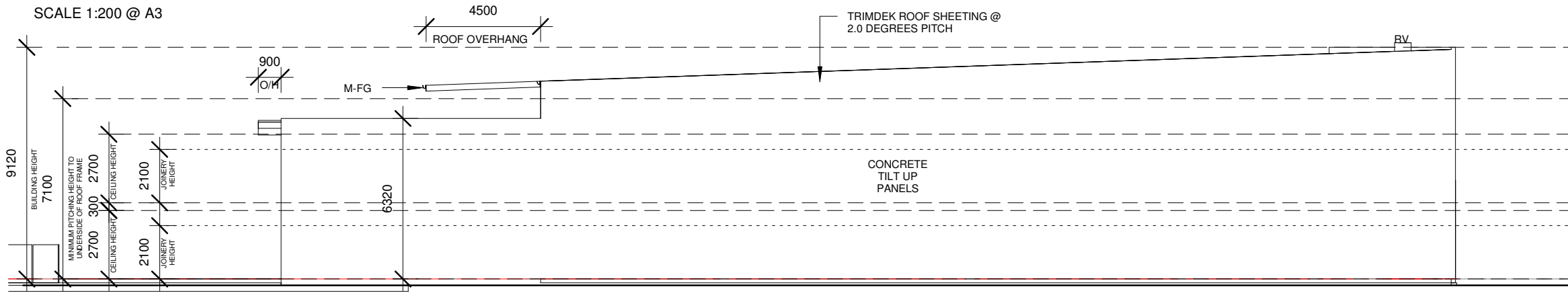
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	Client C. MORLEY LOT 27 ACCESS CRESCENT COOLUM INDUSTRIAL ESTATE	
	Drawing Description COVER SHEET	
	Scale As indicated	Date 07.11.16
Project No. 2016-46		Sheet No. 01 OF 15
WORKING DWGS		Issue H

ISSUE	DATE	SUBJECT	INITIAL	AUTH
H	21.07.17	DIMENSION DIVIDING WALL	SB	DJ
G	30.06.17	MOVE ROLLER DOOR	SB	DJ
F	28.06.17	MOVE ROLLER DOOR	SB	DJ
E	27.06.17	WORKING DRAWINGS	SB	DJ
I	22.06.17	SPLIT BUILDING INTO 2	SB	DJ
C	08.03.17	CONCEPT DWGS	SB	DJ
B	19.11.16	CLIENTS CHANGES	SB	DJ
A	07.11.16	SKETCH ISSUED	SB	DJ

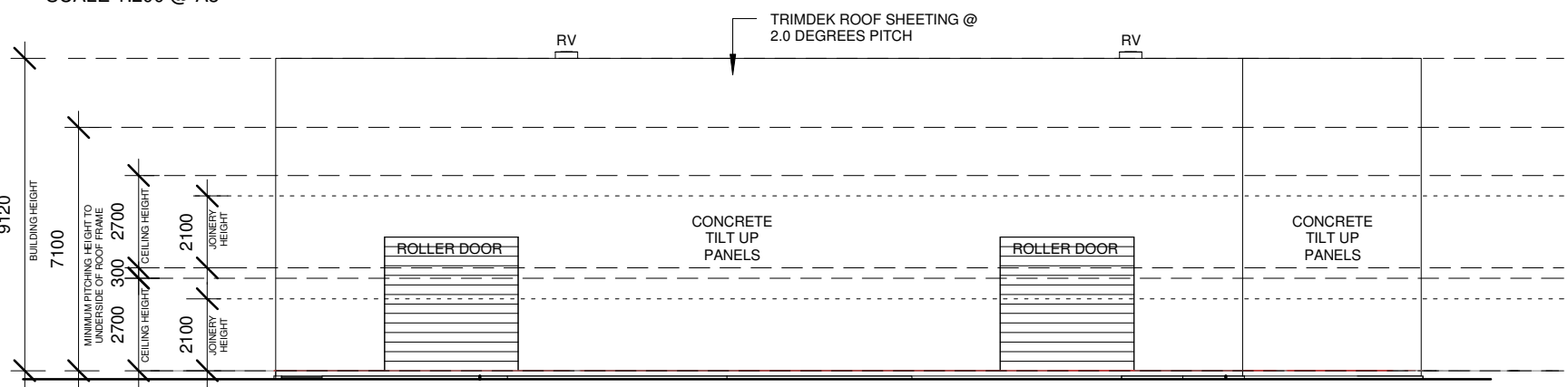
AMENDMENTS
 6 LORRAINE AVE, MARCOOLA QLD. 4564
 PHONE:(07)54488 500 Mobile: 0418 715 702
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 QBSA LICENCE No. 65942



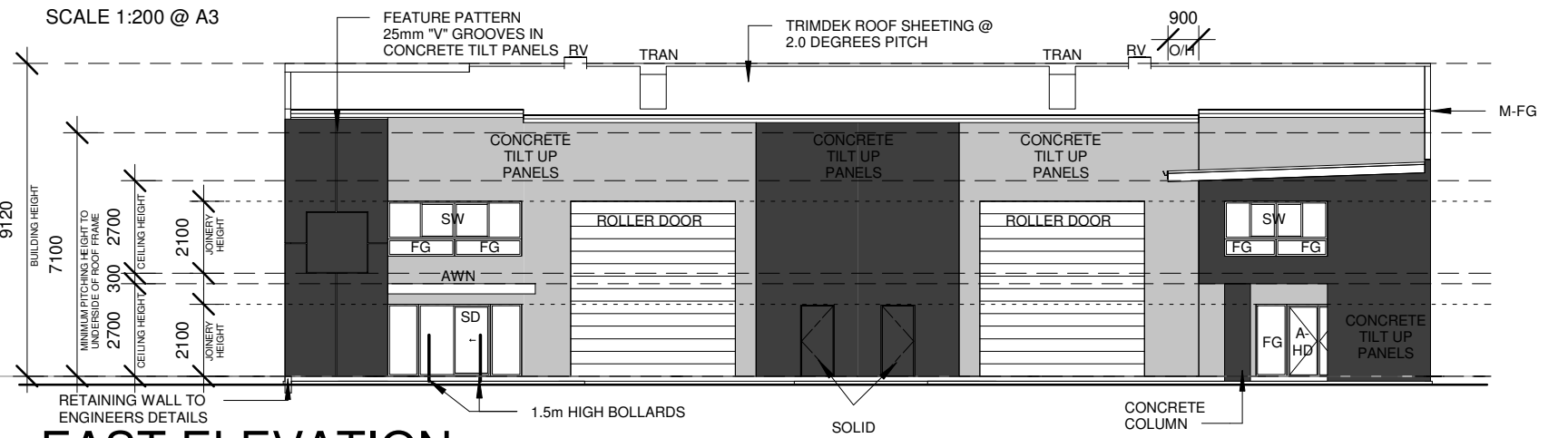
SOUTH ELEVATION
SCALE 1:200 @ A3



NORTH ELEVATION
SCALE 1:200 @ A3



WEST ELEVATION
SCALE 1:200 @ A3



EAST ELEVATION
SCALE 1:200 @ A3

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS

LEGEND

- RV ROOF VENT
- TRAN TRANSPARENT ROOF SHEETING @ 2 DEGREES PITCH.
- M-FG METAL FASCIA & GUTTER. COLORBOND FINISH
- AWN FEATURE ENTRY AWNING (2.4m TO UNDERSIDE)
- FG ALUMINIUM FRAMED FIXED GLASS
- SD ALUMINIUM FRAMED SLIDING DOOR
- SW ALUMINIUM FRAMED SLIDING WINDOW



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R	07.11.16	SKETCHES	SB	DJ

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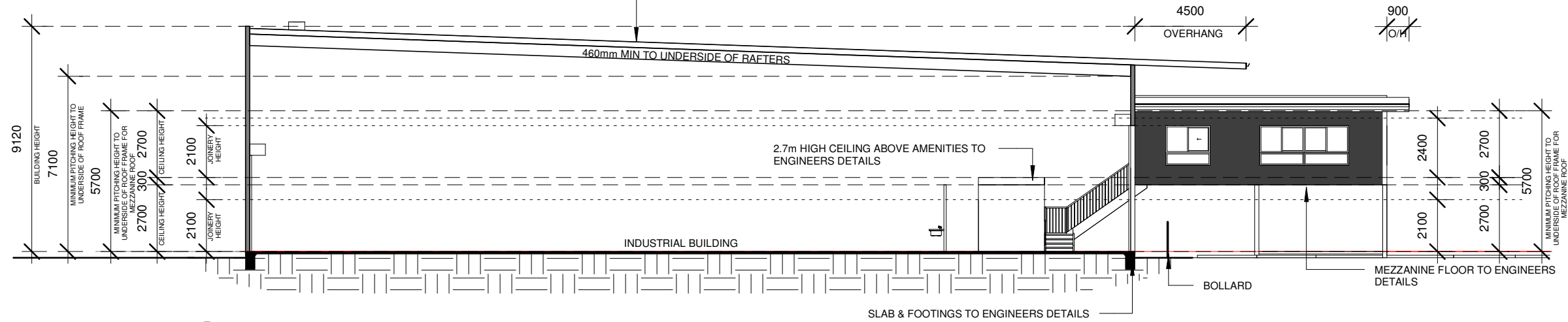
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Client C. MORLEY LOT 27 ACCESS CRESCENT COOLUM INDUSTRIAL ESTATE	
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BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS

ENGINEERS TO ADVISE DESIGNER OF ANY ROOF BEAMS OR RAFTERS THAT WILL CONFLICT WITH MINIMUM PITCHING OR CEILING HEIGHTS.

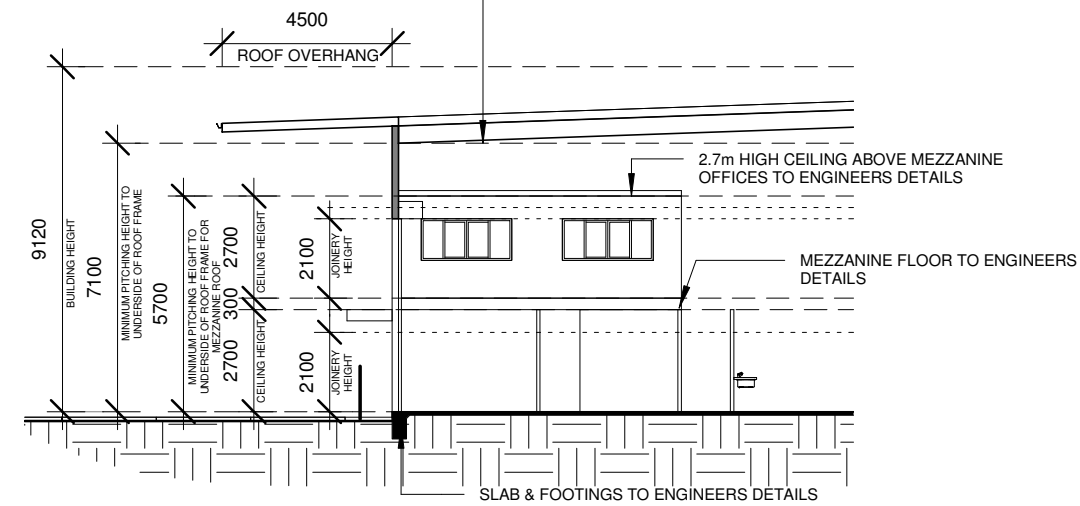
ENGINEER & BUILDER TO NOTE***
DESIGNER HAS PRELIMINARY ALLOWED FOR 30mm TRIMDEK ROOF SHEET, 200mm ROOF PURLINS & 460mm DEEP RAFTERS AS A GUIDE ONLY UNTIL ENGINEERS SIZES ARE FINALISED.



SECTION A-A
SCALE 1:200 @ A3
4

ENGINEERS TO ADVISE DESIGNER OF ANY ROOF BEAMS OR RAFTERS THAT WILL CONFLICT WITH MINIMUM PITCHING OR CEILING HEIGHTS.

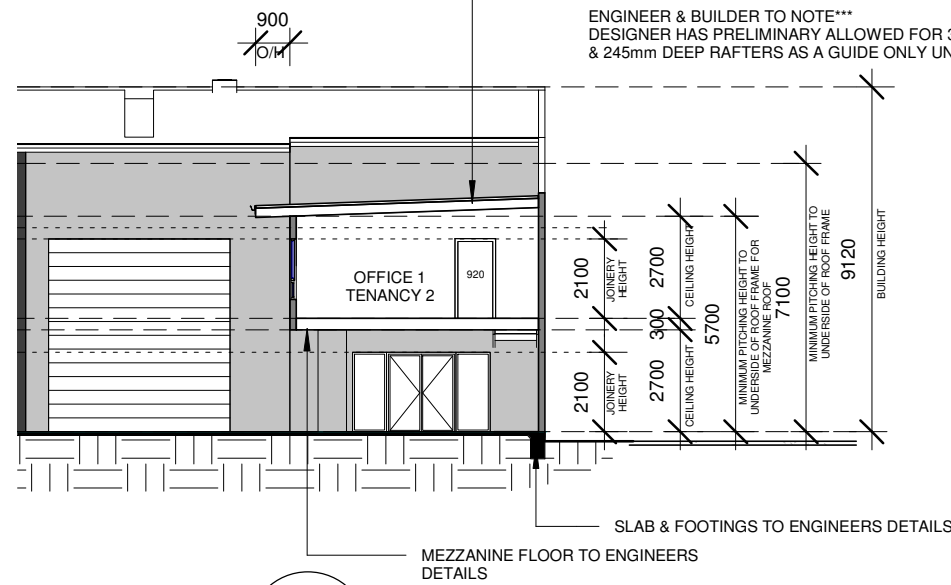
ENGINEER & BUILDER TO NOTE***
DESIGNER HAS PRELIMINARY ALLOWED FOR 30mm TRIMDEK ROOF SHEET, 40mm ROOF BATTENS & 245mm DEEP RAFTERS AS A GUIDE ONLY UNTIL ENGINEERS SIZES ARE FINALISED.



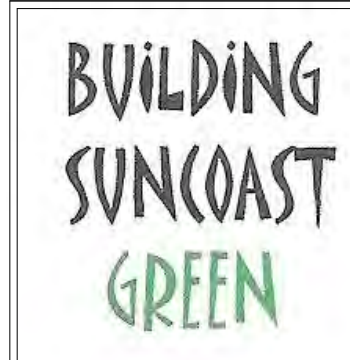
SECTION C-C
SCALE 1:200 @ A3
4

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DESIGNER HAS PRELIMINARY ALLOWED FOR 30mm TRIMDEK ROOF SHEET, 40mm ROOF BATTENS & 245mm DEEP RAFTERS AS A GUIDE ONLY UNTIL ENGINEERS SIZES ARE FINALISED.



SECTION B-B
SCALE 1:200 @ A3
4

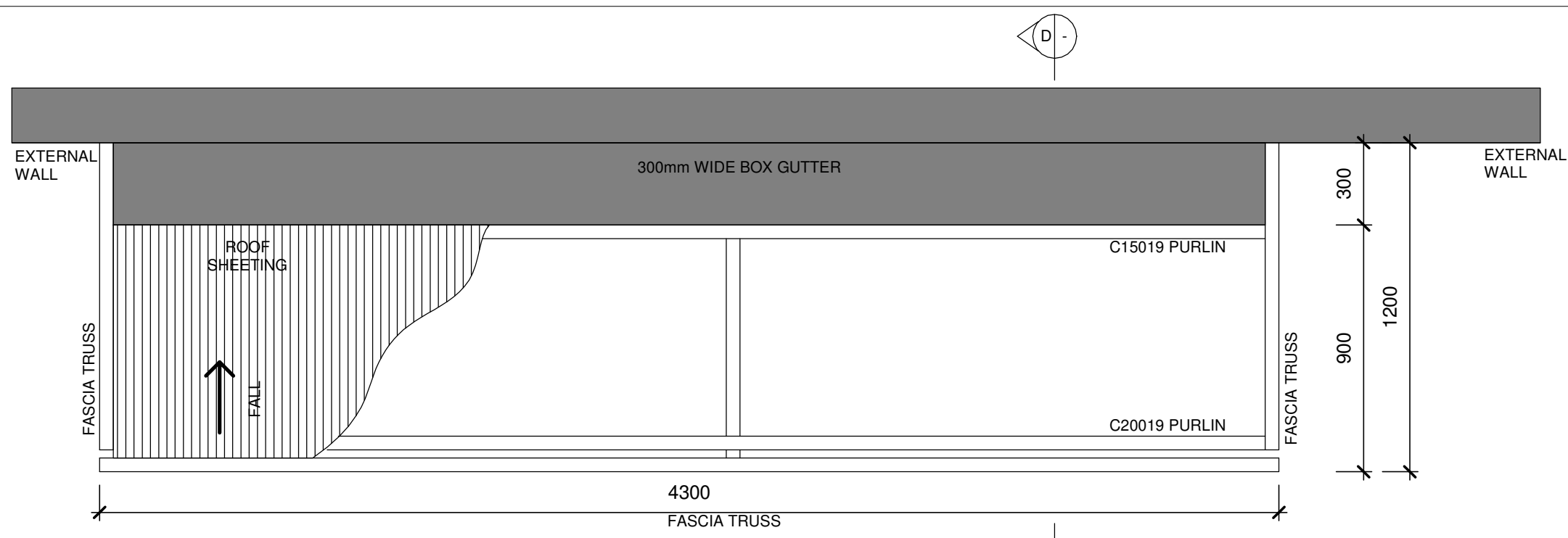


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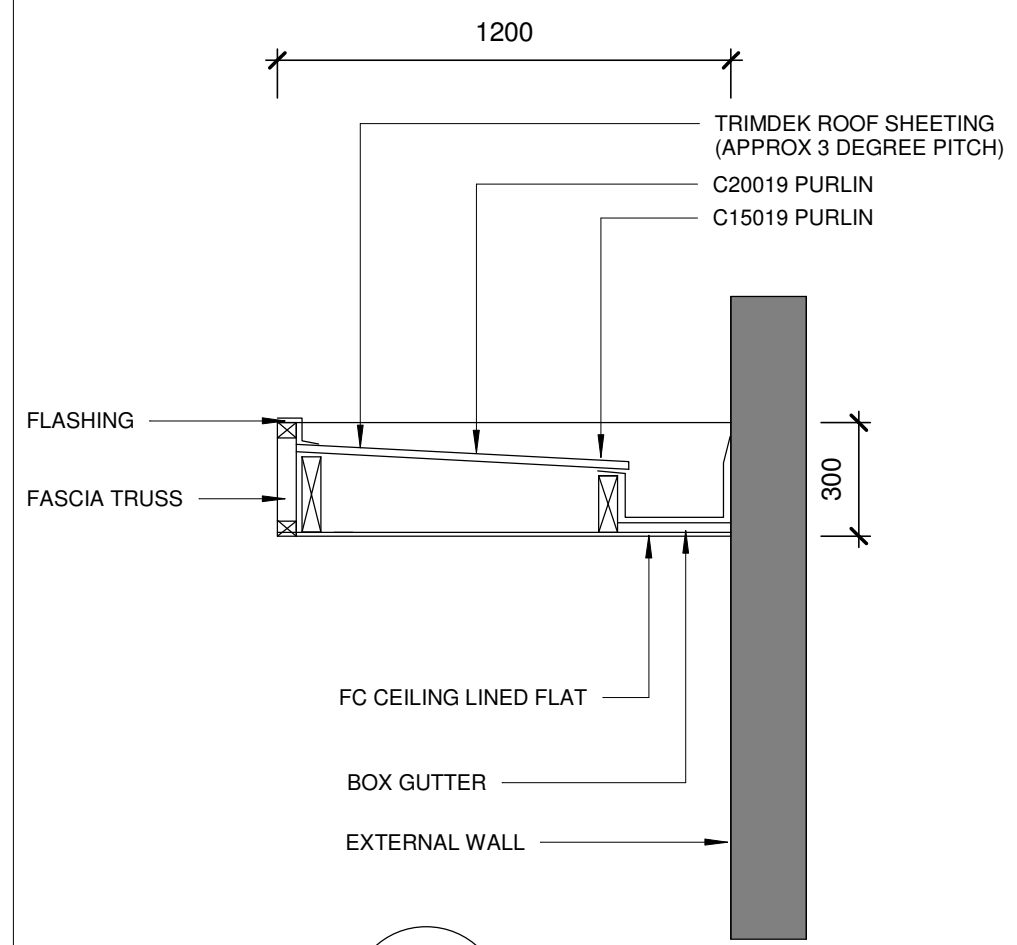
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REFER TO ENGINEERS DRAWINGS FOR AWNING FRAME & FIXING DETAILS

TYPICAL AWNING DETAIL

SCALE: 1:20 @ A3



SECTION D-D

SCALE: 1:20 @ A3



H G F E C B A	21.07.17	DIMENSION DIVIDING WALL	SB	D J	Drawn by SB	Checked by DJ
	30.06.17	MOVE ROLLER DOOR	SB		Client C. MORLEY	
	28.06.17	MOVE ROLLER DOOR	SB		LOT 27 ACCESS CRESCENT	
	27.06.17	WORKING DRAWINGS	SB		COOLUM INDUSTRIAL ESTATE	
	22.06.17	SPLIT BUILDING INTO 2	SB		Drawing Description	
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	10.11.16	CLIENTS CHANGES	SB		Scale As indicated	Date 07.11.16
	07.11.16	SKETCH ISSUED	SB		Project No. 2016-46	Sheet No. 09 OF 15
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ENERGY EFFICIENCY- NCC 2016 PART J. (Climate zone 2- Class 7 /8 building)

THE CLASS 7 / 8 BUILDING MUST BUILT TO IN ACCORDANCE WITH THE REQUIREMENTS LISTED BELOW TO COMPLIED WITH THE ENERGY EFFICIENCY REQUIREMENTS FROM THE 2016 NCC PART J. THIS BUILDING IS LOCATED IN CLIMATE ZONE 2.

J1 - BUILDING FABRIC.

(A) BETWEEN CONDITIONED SPACES ("AIR- CONDITIONED") OR HABITABLE ROOMS AND EXTERIOR OF THE BUILDING.
(B) IF INPUT TO A/C IS LESS THAN 15W/M2 THEN NOT CONSIDERED A CONDITIONED SPACE.

J1.2 - THERMAL CONSTRUCTION GENERALLY

INSULATION TO BE INSTALLED TO COMPLY WITH AS/NZS 4859.1

J1.3 - ROOF & CEILING CONSTRUCTION

1. TO CONDITIONED SPACES TOTAL R-VALUE REQUIRED IS: R3.2 * See Detail 3 (roof above warehouse).
2. TO NON-CONDITIONED SPACES (eg. STORE ROOMS) TOTAL R-VALUE REQUIRED IS: R1.6

J1.4 - ROOF LIGHTS

ROOF LIGHTS ARE PROVIDED IN UNCONDITIONED COMPONENT OF THE BUILDING (WEARHOUSE)
ROOF LIGHTS TOO COMPLY WITH NCC 2016 PART J 1.4. * See table J1.4 ROOF LIGHTS

J1.5 - WALLS

WALLS MUST COMPLY WITH PART J 1.5a. EXTERNAL WALLS THAT IS PART OF A ENVELOPE.
THIS DESIGN COMPLIES WITH (B) WHERE THE ONLY SPACE FOR INSULATION IS PROVIDED BY A FURRING CHANNEL, TOP HAT SECTION, BATTEN OR THE LIKE. (i) ACHIEVE A MINIMUM TOTAL R-VALUE OF 1.4 & SATISFY GLAZING ENERGY INDEX OPTION B OF TABLE J2.4a. (0.173)

TO COMPLY WITH TABLE J 1.5(a).

EXTERNAL WALLS TO ACHIEVE A MINIMUM TOTAL R-VALUE OF 1.4 * See either Detail 1 or Paint Detail 2.

TO COMPLY WITH TABLE J 1.5(b).

ENVELOPE WALLS (OTHER THAN EXTERNAL WALLS) TO ACHIEVE A MINIMUM TOTAL R-VALUE OF 1.0 * See Detail 4.

J1.6 - FLOORS

NO REQUIREMENT - WHERE SUSPENDED AND FORMING A PART OF ANY ENVELOPE TO CONDITIONED SPACE OR SLAB ON GROUND.

J2 - EXTERNAL GLAZING ***** (REFER TO THE GLAZING TABLES) *****

NOTE* GLAZING U-VALUE & SHGC VALUES ARE BASED ON THE WORST CASE SENARIO FOR ALUMINIUM FRAMED CLEAR OR TONED GLASS GLAZING.

A WINDOW MANUFACTURE HAS NOT BEEN CHOSEN AT THIS STAGE. THEREFORE THE VALUES USED ARE FROM THE ABCB ENERGY EFFICIENCY GLAZING PROVISIONS FOR NCC 2006 WERS GENERIC PRODUCTS DIRECTORY - NFRC INTERIM VALUES.
3mm SINGLE CLEAR / ALUMIN FRAME = U-VALUE 7.73 & SHGC 0.78.
3mm SINGLE CLEAR / ALUMIN FRAME = U-VALUE 7.73 & SHGC 0.78.

OR
TONED / ALUMIN FRAME = U-VALUE 7.67 & SHGC 0.57

J3 - BUILDING SEALING

WINDOWS & DOORS MUST COMPLY WITH NCC 2016 PART J3.4. a SEAL TO RESTRICT ARE INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE ENVELOPE OF A CONDITIONED SPACE. A SEAL IS REQUIRED FOR THE BOTTOM EGDE OF AN EXTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE & THE OTHER EDGES OF AN EXTERNAL DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING. MAY BE FOAM RUBBER COMPRESSION STRIP, FIBROUS SEAL OR THE LIKE. THIS MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

J4 - AIR MOVEMENT

ONLY APPLIES TO CLASS 2 OR 4 BUILDINGS.

J5 - AIR CONDITIONING & VENTILATION SYSTEM

NOT APPLICABLE - NO AIRCONDITIONING TO BE PROVIDED TO WAREHOUSE.
AIR CONDITIONING PROVIDED TO ADMIN AREAS OF GROUND FLOOR. REFER TO MECHANICAL ENGINEERS DETAILS

J6 - ARTIFICIAL LIGHTING & POWER

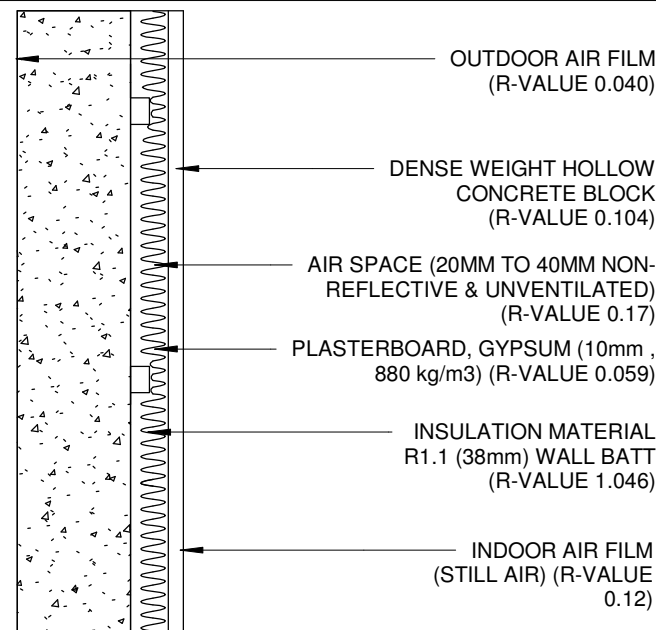
TO BE CERTIFIED BY A ELECTRICAL ENGINEER FOR COMPLIANCE

J7 - HOT WATER SUPPLY

TO COMPLY WITH AS/NZS 3500.4

J8 - ACCESS FOR MAINTENANCE

ONLY APPLIES TO CLASS 2 & 3 BUILDINGS.

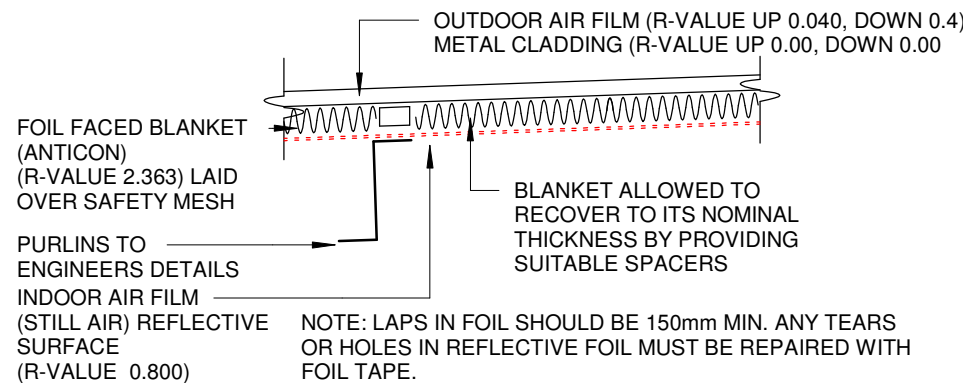


ACHIEVED = 1.539

DETAIL 1. CONCRETE TILT UP WALLS EXTERNAL WALL PAINT DETAILS TO ACHIEVE MIN R-VALUE OF 1.4

OR

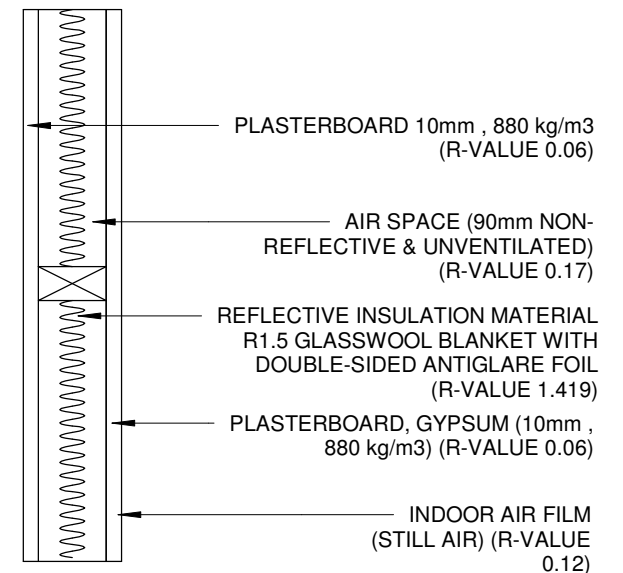
DETAIL 2. CONCRETE TILT UP WALLS EXTERNAL WALL PAINT DETAILS TO ACHIEVE MIN R-VALUE OF 1.4



DETAIL 3. ROOF TO ACHIEVE MIN R-VALUE OF 3.2

SCALE 1:10 @ A3

ACHIEVED = 3.2



DETAIL 4. ENVELOPE WALL (INTERNAL) DETAIL TO ACHIEVE MIN R-VALUE OF 1.0

ACHIEVED = 1.829

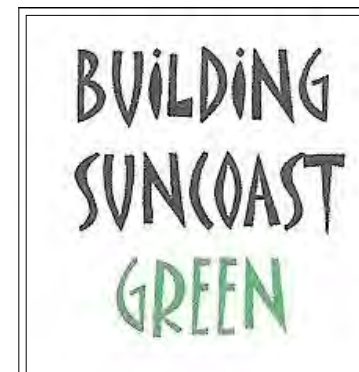
TABLE J1.4 - ROOF LIGHTS

ROOF LIGHT SHAFT INDEX	CONSTANT	MORE THAN 4% UP TO 5% REQUIRED
0.5 TO LESS THAN 1.0	SHGC TOTAL U-VALUE	NOT MORE THAN 0.43 REQUIRED NOT MORE THAN 3.4 REQUIRED

TOTAL FLOOR AREA = 1177.3m2
TOTAL ROOF LIGHT AREA = 54.2m2

TOTAL AREA OF ROOF LIGHT SERVING BUILDING = 4.6%

CENTRE OF ROOF SHAFT AT ROOF & CENTRE OF SHAFT AT CEILING= (690mm / 762mm) = 0.9 ROOF LIGHT SHAFT INDEX



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ASTEC ENERGY STAR WATERBASED, INFRARED HEAT REFLECTIVE, 100% ACRYLIC LOW SHEEN CLEAR COATING APPLIED TO ALL RAW CONCRETE TILT PANELS

SUPPLIER: ASTEC PAINTS
CONTACT: 08 8297 2000
EMAIL: enquires@astecpaints.com.au
ADDRESS: ASTEC PAINTS GEEBUNG, QLD.



LANDSCAPE SPECIES LEGEND

NO:	CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	COLOUR	POT SIZE
TREES							
2	Pan tec	<i>Pandanus tectorius</i>	Screwpine	5m	3m	-	45 L
1	Ela obo	<i>Elaeocarpus obovatus</i>	Blueberry Ash	12m	4m	-	45 L
2	Ban int	<i>Banksia integrifolia</i>	Coastal Banksia	15m	3m	Yellow	45 L
LARGE SHRUBS							
5	Ban rob	<i>Banksia robur</i>	Swamp Banksia	2-3m	2-3m	Yellow	140mm
3	Cal tar	<i>Callistemon taree pink</i>	Pink bottle brush	3m	1.5m	Pink	300mm
5	Acm smi	<i>Acmena smithii</i>	Lilly Pilly	10m	3m	Pink	300mm
SMALL SHRUBS							
77	Lom lon	<i>Lomandra longifolia</i>	Mat rush	1m	1m	-	140mm
85	Dia bre	<i>Dianella brevipedunculata</i>	Blue Flax Lily	1m	1m	Purple	140mm
GROUND COVERS							
30	Hib sca	<i>Hibbertia scandens</i>	Snake Vine	0.2m	2.5m	Yellow	140mm
40	Aus dul	<i>Austromyrtus dulcis</i>	Midgen Berry	0.5m	0.8m	White	140mm
GRASSES & SEDGES (Bio-Retention Basin Plants)				QTY / m2			
40	Lom hys	<i>Lomandra hystrix</i>	Katie Bells	0.5-1.0m	4 per m2	Yellow	Tube stock
80	Jun usi	<i>Juncus usitatus</i>	Common Rush	0.3-1.2m	8 per m2	-	Tube stock
80	Fic nod	<i>Ficinia nodosa</i>	Knobby Club-Rush	0.5m-1.5m	8 per m2	-	Tube stock

LANDSCAPE NOTES

PREPARATION OF GARDEN BEDS FOR PLANTING:

CULTIVATE EXISTING SOIL IN NATURAL GROUND TO A MINIMUM DEPTH OF 150mm. IMPORT CLEAN TOPSOIL (SANDY LOAM) TO A MINIMUM DEPTH OF 300mm, ABOVE ORIGINAL GROUND LEVEL. ORGANIC MATTER OR GYPSUM ETC. MAY ALSO BE ADDED AS NECESSARY TO IMPROVE THE SOIL FOR THE BEST POSSIBLE GROWTH. TEST THE SOIL USING A 'SOIL TEST KIT' TO ENSURE IT IS HEALTHY AND AMEND AS NECESSARY.

ALL GARDEN BEDS TO BE MOUNDED 300mm MIN AT CENTRE OF BED, ABOVE FINISHED PAVEMENT LEVELS, TO PREVENT ANY PONDING AROUND PLANTS.

FERTILIZE USING A SLOW RELEASE FERTILIZER IN 'PILL' OR 'GRANULE' FORM, AT TIME OF PLANTING. ENSURE THAT FERTILIZER DOES NOT DIRECTLY CONTACT ROOTS.

INSTALL AN AUTOMATIC IRRIGATION SYSTEM WITH TIMER. PLACE IRRIGATION LINE AFTER PLANTING & PRIOR TO MULCHING.

USE ONLY SUN 'HARDENED' PLANTS. ENSURE HEALTHY ROOT SYSTEM TO ALL PLANTS TO BE USED. UNDER NO CIRCUMSTANCES ARE ROOT BOUND PLANTS TO BE USED.

TREES:

ALL 45L TREES AND LARGE SHRUBS WILL NEED TO BE STAKED SECURELY USING 1800mm STAKES x 2 OR 3 AS NECESSARY AND TIED TO STAKES USING HESSIAN WEBBING, (TO PREVENT PLANT DAMAGE UNTIL ESTABLISHED).

MULCH:

ALL GARDENS ARE BE MULCHED WITH 'TEA TREE' MULCH TO A MINIMUM DEPTH OF 100mm.

DRAINAGE:

PLEASE ENSURE ADEQUATE DRAINAGE IS INSTALLED BELOW GARDENS AND PAVED AND CONCRETED AREAS.

LOCATION OF SERVICES AND LEVELS:

PLEASE REFER HYDRAULICS PLAN FOR FULL INFORMATION ON SERVICES TYPE AND LOCATION AND FINISHED LEVELS.

CONCRETE:

STENCILLED CONCRETE IS TO BE USED AS THE FINISH FOR THE ENTRY PATHWAY WHERE SHOWN.

A STENCILLED CONCRETE FINISH IN A COLOUR AND STYLE COMPLIMENTARY TO THE BUILDING IS TO BE APPLIED BY A QUALIFIED PERSON ACCORDING TO BEST INDUSTRY STANDARDS.

GENERAL NOTES:

CONCRETE ROLLBACK KERB FOR CAR PARK EDGES AND GARDEN BOUNDARIES AS NECESSARY, TO ENGINEER'S DETAIL.

MAINTENANCE:

IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE PROPERTY TO A SATISFACTORY STANDARD TO COUNCIL'S APPROVAL.

A MAINTENANCE REGIME MUST BE PROGRAMMED TO MAINTAIN MULCH, WATER, FERTILIZER, PRUNING AND THE CARE AND/OR REPLACEMENT OF ANY DAMAGED OR DISEASED PLANT.

SHORT TERM

FOR THE FIRST 4 WEEKS ALL PLANTS MUST BE WATERED FOR 20mins PER DAY min. REDUCING TO 10mins PER DAY FOR FOLLOWING 5 MONTHS, (ALWAYS WATER IN RELATION TO RAINFALL).

LONG TERM

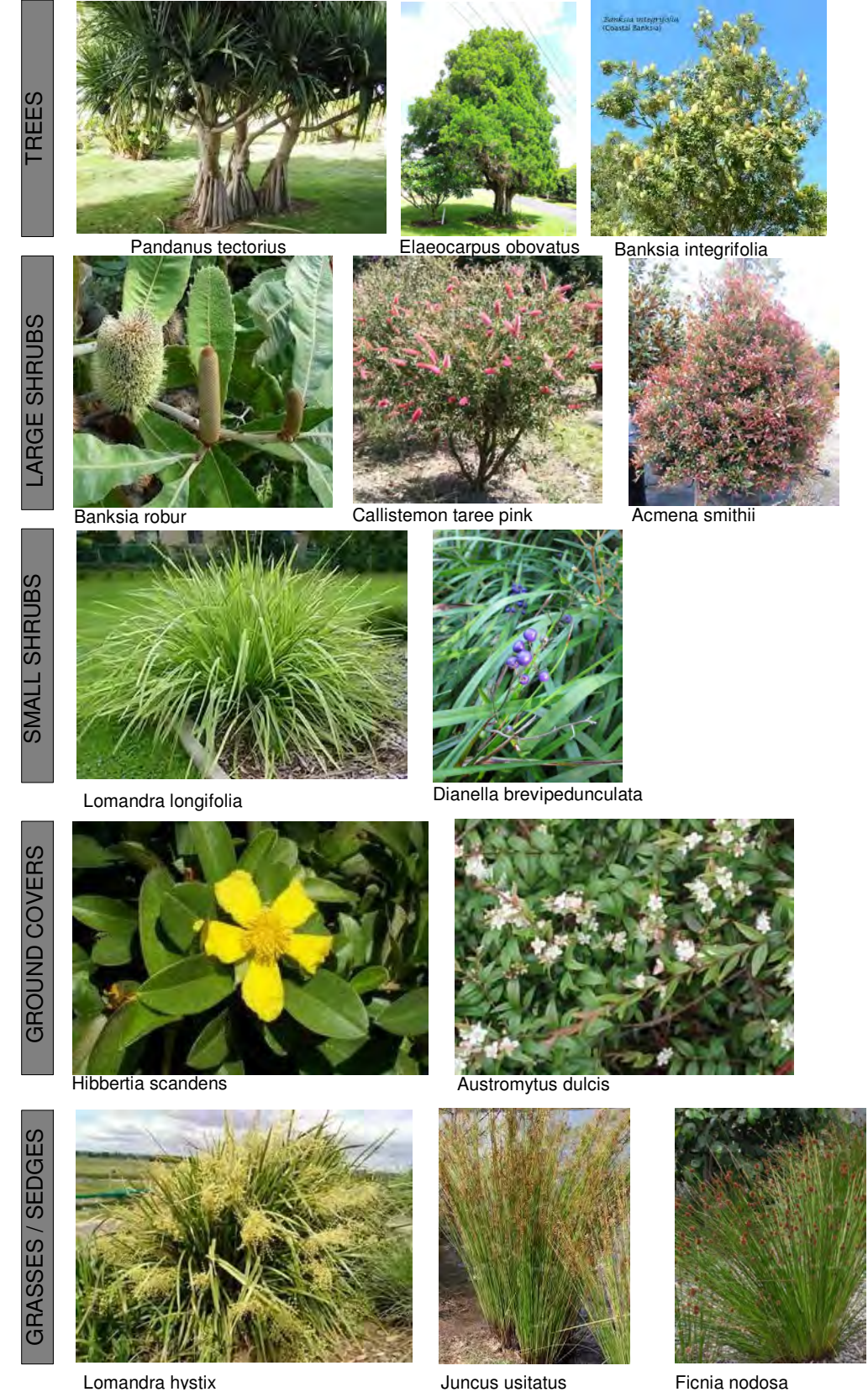
FERTILIZE ALL PLANTS EACH SPRING & WHEN REQUIRED DURING THE YEAR. ENSURE USE OF A NATIVE 'FRIENDLY' FERTILIZER.

TREES & SHRUBS TO BE PRUNED AFTER FLOWERING TO MAINTAIN HEALTHY GROWTH AND SHAPE. PRUNE AT THE NODE FOR ALL NATIVES. NEVER 'HARD PRUNE' A PLANT UNLESS ON RELIABLE AUTHORITY.

DUE TO BREAKING DOWN, ORGANIC MULCH NEEDS TO BE 'TOPPED UP' EVERY FEW YEARS TO MAINTAIN A THICK COVER.

STAKES AND WEBBING WHICH SUPPORT TREES MAY BE REMOVED AFTER TREES ARE SUITABLY ESTABLISHED.

LANDSCAPE SPECIES PHOTOS



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